

PROJECT TITLE

**DREAM**

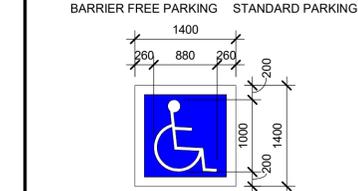
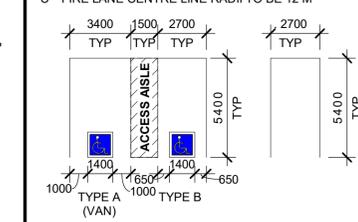
9501-9511 TORBRAM ROAD, BRAMPTON  
 CITY SITE PLAN FILE NUMBER: SPA-2025-0061

A PROJECT FOR  
**DREAM**

GENERAL NOTES

- DESIGNATED FIRE ACCESS LANE - MINIMUM 6M
- PROPOSED SNOW STORAGE
- ELECTRIC VEHICLE
- CARPOOL
- FIRE HYDRANT
- SIAMESE CONNECTION
- PRINCIPLE ENTRANCE
- FLOODPLAIN ZONE
- FLOODPLAIN LIMIT

- A PROVIDE FIRE LANE STRIP PER LOCAL JURISDICTION
- B FIRE DEPARTMENT ACCESS LANE SITE CONCRETE PAVING TO BE CAPABLE OF WITHSTANDING 90,000 LBS UNDER ALL WEATHER CONDITIONS
- C FIRE LANE CENTRE LINE RADII TO BE 12 M



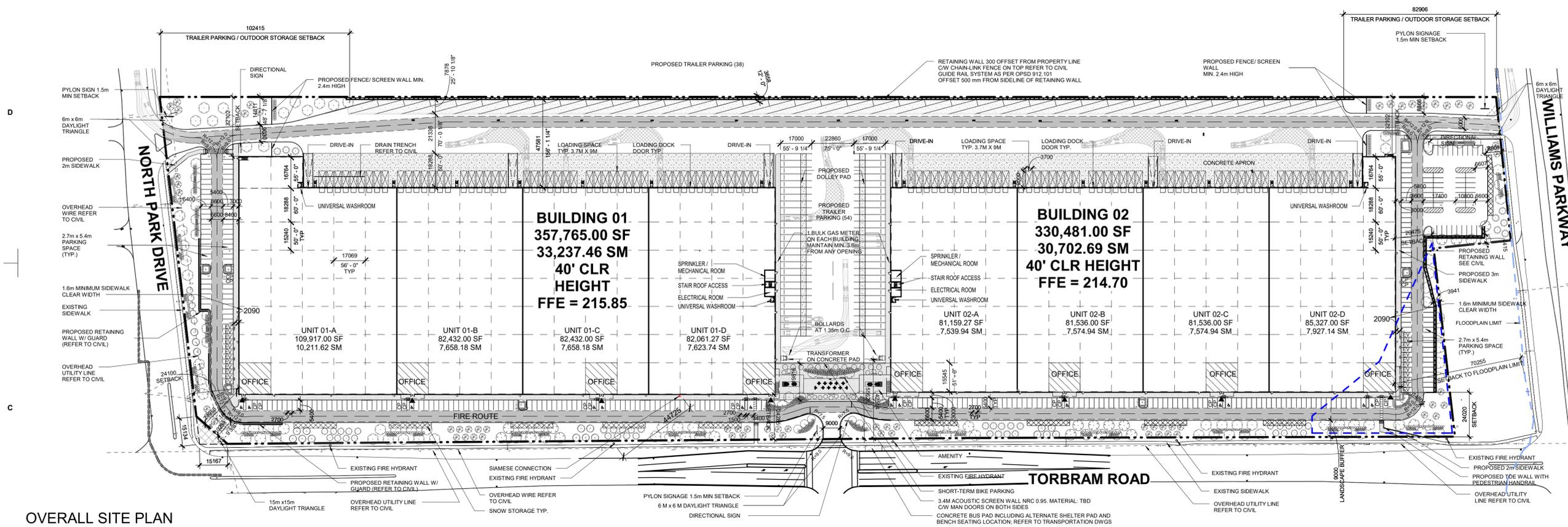
DATE	REVISION
2025/04/17	Issued for SPA
2025/08/08	For Client Review
2025/08/15	Re-issued for SPA
2025/08/21	For Client Review
2025/08/29	For Client Review
2025/09/23	Issued for Design-Build RFP
2025/10/10	Re-issued for SPA

PROJECT NO: 255002  
 DRAWN BY: MZ  
 CHECKED BY: CH  
 SHEET NAME

**OVERALL SITE PLAN**

SEAL SHEET NUMBER

**AS101**



**OVERALL SITE PLAN**

SCALE: 1 : 1200

<b>SITE AREA:</b> 130,297.10 m <sup>2</sup> (32.20 AC)
<b>GROSS FLOOR AREAS:</b>
BUILDING 01: 33,237.46 m <sup>2</sup> (357,765.00 SF)
BUILDING 02: 30,702.69 m <sup>2</sup> (330,481.00 SF)
<b>TOTAL:</b> 63,940.15 m <sup>2</sup> (688,246.00 SF)
SITE COVERAGE: 49%
BUILDING HEIGHT: 15.09 m (PERMITTED MAX. 10.8 m)

BUILDING SETBACKS:	
PROPOSED	REQUIRED
WILLIAMS PARKWAY: 20.475 m	30 m
TORBRAM ROAD: 24.02 m	9 m
NORTH PARK DRIVE: 24.1 m	25 m
PROPOSED DISTANCE FOR OUTDOOR STORAGE:	
PROPOSED	REQUIRED
WILLIAMS PARKWAY: 82.9 m	150 m
TORBRAM ROAD: 55.85 m	90 m
NORTH PARK DRIVE: 102.4 m	25 m
AIRPORT ROAD: N.A.	180 m

PARKING REQUIREMENTS - PROPOSED		REQUIRED	
BUILDING 01:		BUILDING 01:	
174 (INCLUDES 3 TYPE "A" BARRIER FREE AND 4 TYPE "B" BARRIER FREE, 10CP AND 12 EV)	246	174 (INCLUDES 3 TYPE "A" BARRIER FREE AND 4 TYPE "B" BARRIER FREE, 10CP AND 12 EV)	246
BUILDING 02:		BUILDING 02:	
207 (INCLUDES 3 TYPE "A" BARRIER FREE AND 4 TYPE "B" BARRIER FREE, 10CP AND 12 EV)	231	207 (INCLUDES 3 TYPE "A" BARRIER FREE AND 4 TYPE "B" BARRIER FREE, 10CP AND 12 EV)	231
<b>TOTAL PARKING:</b> 381	<b>477</b>	<b>TOTAL PARKING:</b> 381	<b>477</b>
TRAILER PARKING: 92		TRAILER PARKING: 92	
LOADING DOCKS: 100		LOADING DOCKS: 100	
DRIVE-IN LOADINGS: 6		DRIVE-IN LOADINGS: 6	
<b>SNOW STORAGE 7,788 SF / 723 SM</b>			

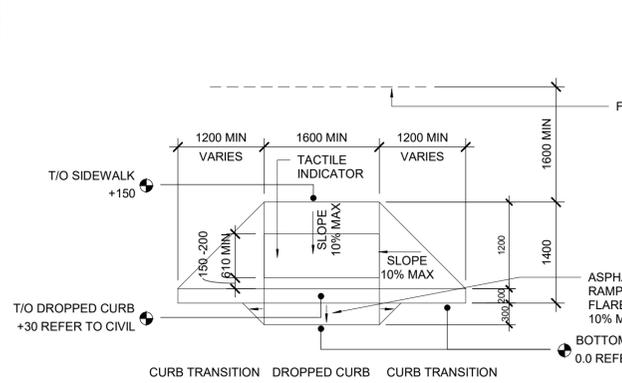
**NOTES**  
 AS PER BRAMPTON ZONING BY-LAWS, SECTION 30.0 GENERAL PROVISIONS FOR INDUSTRIAL ZONES - ITEM 30.5 (PARKING SPACES - WAREHOUSE)  
 OVER 20,000 SQUARE METRES: 168 PARKING SPACES PLUS 1 PARKING SPACE PER 170 SQUARE METRES GROSS FLOOR AREA OR PORTION THEREOF THAT IS OVER 20,000 SQUARE METRES  
**BUILDING 01:**  
 168 SPACES (FOR FIRST 20,000 m<sup>2</sup>) + ((13,237/170) = 78 SPACES) = 168+78 = 246 SPACES  
**BUILDING 02:**  
 168 SPACES (FOR FIRST 20,000 m<sup>2</sup>) + ((10,703/170) = 63 SPACES) = 168+63 = 231 SPACES

NOTE: GAS METERS SHALL NOT BE LOCATED ON BUILDING FACADES THAT FACE STREETS AND SHALL BE LOCATED DISCREETLY, AWAY FROM PEDESTRIAN TRAVEL ROUTES AND SCREENED FROM PUBLIC VIEW

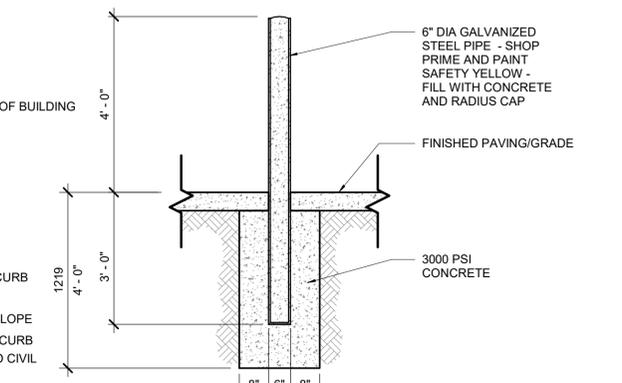
NOTE: GAS PIPES SERVICING ROOF TOP MECHANICAL EQUIPMENT SHALL NOT BE VISIBLE TO ANY PUBLIC VIEW AND SHALL BE INSTALLED WITHIN THE WALL CONSTRUCTION

AREA OF EACH TENANT SPACE:					
BUILDING 01:	UNIT NUMBER	AREA	DOCK DOORS	DRIVE-IN AREA/ DOCK DOORS	OFFICE AREA
UNIT 01-A	109,917.00 SF (10,211.62 m <sup>2</sup> )	09	01	1/12,213 SF (1,135 m <sup>2</sup> )	3,248.75 SF or 301.82 m <sup>2</sup> (2.96%)
UNIT 01-B	82,432.00 SF (7,658.18 m <sup>2</sup> )	13	01	1/6,341 SF (1,589 m <sup>2</sup> )	3,164.00 SF or 293.95 m <sup>2</sup> (3.84%)
UNIT 01-C	82,432.00 SF (7,658.18 m <sup>2</sup> )	15	0	1/5,495 SF (1,511 m <sup>2</sup> )	3,164.00 SF or 293.95 m <sup>2</sup> (3.84%)
UNIT 01-D	82,061.27 SF (7,623.74 m <sup>2</sup> )	13	01	1/6,312 SF (1,586 m <sup>2</sup> )	3,248.75 SF or 301.82 m <sup>2</sup> (3.96%)
MECH & ELEC & ROOF ACCESS	922.73 SF (85.72 m <sup>2</sup> )				
<b>TOTAL:</b>	<b>357,765 SF (33,237.46 m<sup>2</sup>)</b>	<b>50</b>	<b>03</b>	<b>17,301 SF (1,678 m<sup>2</sup>)</b>	<b>12,825.50 SF or 1,191.53 m<sup>2</sup> (3.58%)</b>

AREA OF EACH TENANT SPACE:					
BUILDING 02:	UNIT NUMBER	AREA	DOCK DOORS	DRIVE-IN AREA/ DOCK DOORS	OFFICE AREA
UNIT 02-A	81,159.27 SF (7,539.94 m <sup>2</sup> )	13	01	1/6,243 SF (1,580 m <sup>2</sup> )	3,018.75 SF or 280.45 m <sup>2</sup> (3.72%)
UNIT 02-B	81,536.00 SF (7,574.94 m <sup>2</sup> )	15	0	1/5,436 SF (1,505 m <sup>2</sup> )	2,940.00 SF or 273.13 m <sup>2</sup> (3.61%)
UNIT 02-C	81,536.00 SF (7,574.94 m <sup>2</sup> )	13	01	1/6,272 SF (1,583 m <sup>2</sup> )	2,940.00 SF or 273.13 m <sup>2</sup> (3.61%)
UNIT 02-D	85,327.00 SF (7,927.14 m <sup>2</sup> )	9	01	1/9,481 SF (1,881 m <sup>2</sup> )	3,018.75 SF or 280.45 m <sup>2</sup> (3.54%)
MECH & ELEC & ROOF ACCESS	922.73 SF (85.72 m <sup>2</sup> )				
<b>TOTAL:</b>	<b>330,481 SF (30,702.69 m<sup>2</sup>)</b>	<b>50</b>	<b>03</b>	<b>1/6,609 SF (1,614 m<sup>2</sup>)</b>	<b>11,917.50 SF or 1,107.17 m<sup>2</sup> (3.61%)</b>



**A4 CURB CUT**  
 SCALE: 1 : 50



**A3 EXTERIOR BOLLARD - FIXED**  
 SCALE: 1 : 25